



Planned Residential Unit Development (PRUD) Application

Ogden City Development Services
2549 Washington Blvd. Suite 240
Ogden, UT 84401
(801) 629-8930

Please **print legibly** and complete all areas:

PRUD Project Name:			
Project Address:			
Project Contact Person:			
Address:	City:	State:	Zip:
E-mail:	Phone:		
Property owner's name (if different than applicant):			

PRELIMINARY SUBMITTAL CHECKLIST

Site Package

- 6 detailed site plans, drawn to scale (see back of this form for criteria)
- 6 ownership plats, available at Weber County, 2380 Washington Blvd., or on their website:
<http://www.co.weber.ut.us/psearch/index.php>
- 2 landscape plans
- 2 sets of building elevations, including proposed materials
- 6 copies of preliminary utility plans
- PDFs of above items

Written Package

- A tabulation chart of areas used for roads, open space, building coverage, building densities. If building in phases, a breakdown of this information for each phase is required.
- A statement of the design theme and intent of the project, and why a PRUD is a better use for the area than a standard subdivision.
- If seeking bonus density points, explain proposed improvements per ordinance 15-8-8.
- If located in the Sensitive Overlay Zone, include all necessary reports and additional fees required for compliance with the Sensitive Area Overlay Zone.
- Indicate if this project will be held in one ownership or subdivided after development.
- FEE: \$600**

FINAL APPROVAL CHECKLIST

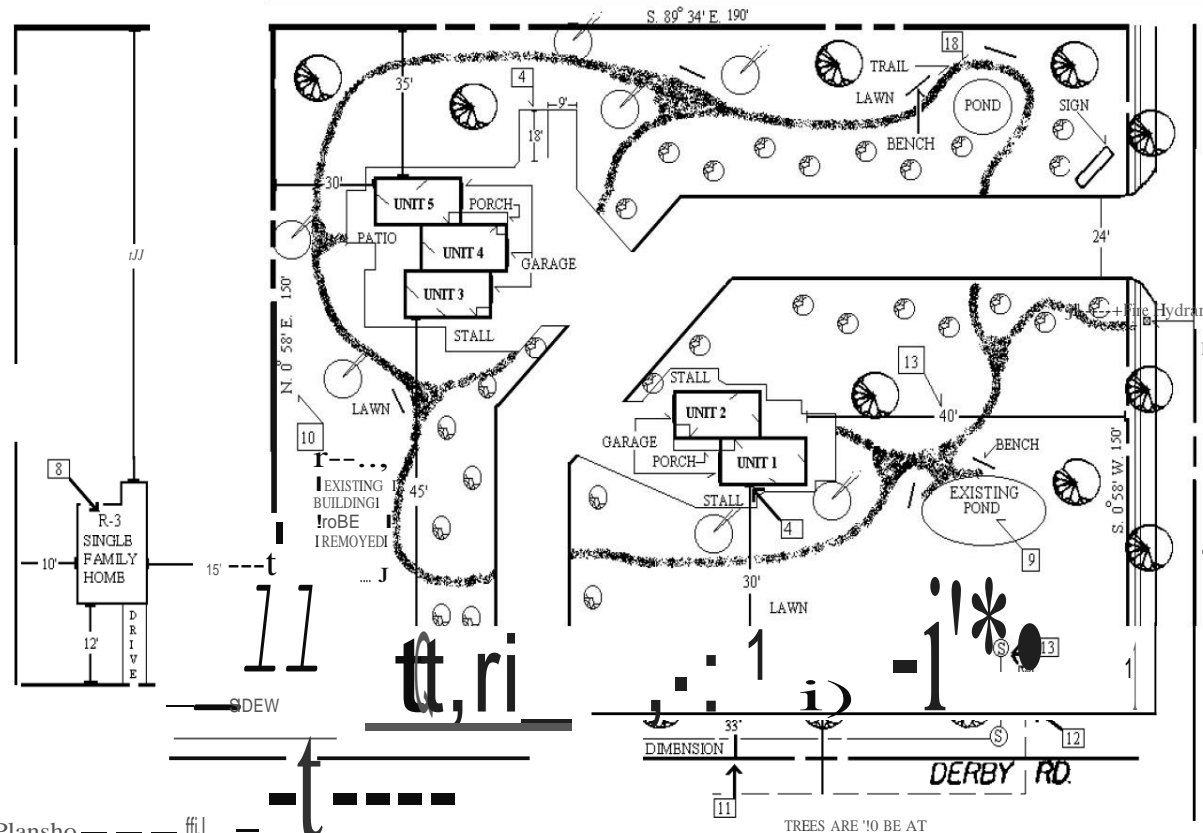
Items required for final approval

- 6 copies of detailed site plan, drawn to scale, including items 1-18 on back of this form.
- Grading plan of entire project. Include all storm drainage features and required calculations for system.
- Detailed design of entry features and other improvements required for development.
- Detailed landscape planting and irrigation plan including types and sizes of plants.
- Detailed engineering plans of all required infrastructure improvements including streets, sewer, water, storm sewer.
- Final building elevations of all four sides showing proposed building materials.
- PDFs of above items

CHECK LIST FOR SITE PLAN REVIEW (1-18)

- Name of the proposed development.
- Name & address of owner of property.
- Name and address of the preparer of the site plan.
- The proposed location of buildings, parking, carports, driveways, sidewalks and fences. These shall be properly dimensioned.
- Table showing total acreage-hard surface-landscape-building coverage in square footage.
- A north arrow & scale (not less than 1:50).
- The land use & zoning of the development site.
- Adjacent development within 30' of the property.
- Existing vegetation, buildings, canals, ditches, streams, easements, utility poles, or other features.
- A valid & accurate legal description of the property. Property lines shall be shown with bearings & dimensions.
- Adjacent streets shall be shown and identified, along with distance from centerline to property.
- Off-site water service shall be shown, along with proposed service lateral & meter location.
- Off-site sewer service shall be shown, along with proposed service lateral & cleanout locations.
- Contour lines at no greater than 5' intervals if there is more than a 10' grade difference on site.
- Show how on site storm water will be managed.

- Fire hydrant location & distance from hydrant to bldg.
- Existing structures which will be removed from the site.
- Common open space development.



SITE PLAN REQUIREMENTS		
	sq.ft.	%
Total Parcel Area	28,500	
Building Coverage	6,000	21
Asphalt Coverage	10,200	35
Landscaping	12,300	44
Existing Zoning	R-3	
Parking Stalls Required	12	([ii])
Parking Stalls Shown	12	
Landscaping Type	- COLUMNAR TREE - SHADE TREE G- FLOWERING TREE	
Land Use	q Two Bun. DrnGs WITH siX UNITs TOTAL R-3 ZONE	

NAME OF PROJECT COUNTRY RETREAT

ILI APPLICANT: TYE SMITH PHONE : 393-3003
 ADDRESS: 405 ACIDIA AVE. OGDEN
 IJ ENGINEER: P.C.CONST
 ADDRESS: 12 PENN AVE. OGDEN PHONE 399-9001
 ARCHITECT: D.BAILEY & ASSOC
 ADDRESS: 313 BASS DR. OGDEN PHONE: 621-4111

SCALE 1" = 80' NORTH

SAMPLE SITE PLAN